

Brinnier and Larios, P.C.
 67 Maiden Lane
 Kingston, New York 12401

(845) 338-7622
 (845) 338-7660 fax.

To: Town of Shandaken
 Planning Board
 Attention: Olivia Amantia
 P.O. Box 134
 Shandaken, NY 12480

LETTER OF TRANSMITTAL		
Date:	December 28, 2023	Job No.
Re:	Woodland Playhouse Site Plan 5605 New York State Route 28 SBL Parcel 25.1-1-2.100 Town of Shandaken, Ulster County	

We are sending you:

- SHOP DRAWINGS
 PRINTS
 PLANS
 SPECIFICATIONS
 CHANGE ORDER
 OTHER: AS LISTED BELOW

Copies	Date	No.	Description
8	12/23		Project Plan Set (Reduced Size)
2	12/23		Project Plan Set (Full Size)

These are transmitted as checked below:

- FOR APPROVAL
 APPROVED AS SUBMITTED
 RESUBMIT ____ COPIES FOR APPROVAL
 FOR YOUR USE
 APPROVED AS NOTED
 SUBMIT ____ COPIES FOR DISTRIBUTION
 AS REQUESTED
 RETURNED FOR CORRECTIONS
 FOR REVIEW AND COMMENT

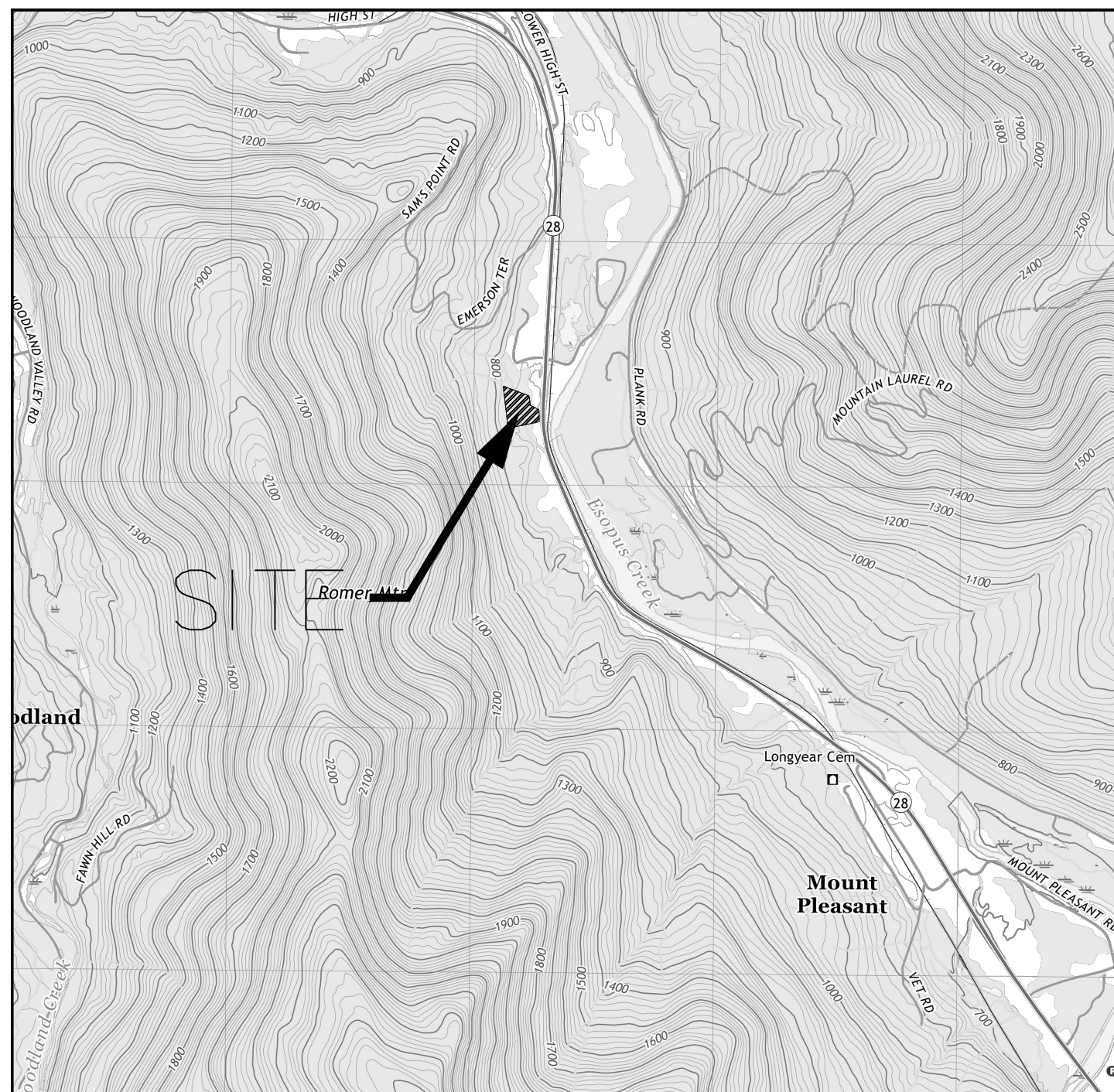
On behalf of our client, Woodland Playhouse, enclosed please find eight (8) reduced size site plan sets and (2) full size site plan sets.

If you have any questions or require any additional information, please feel free to contact me.

cc: Christina Davis, Woodland Playhouse

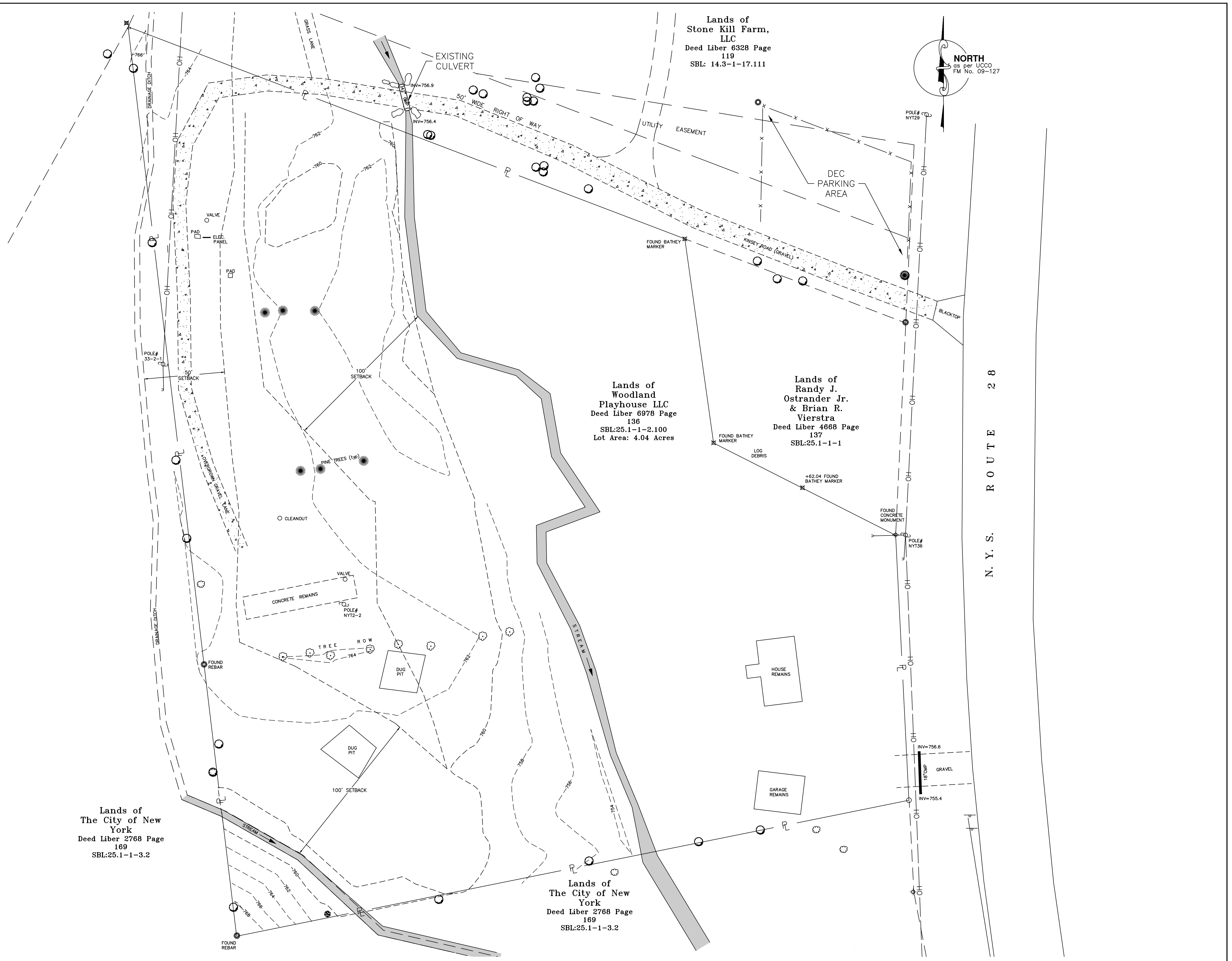
Signed: Allan M. Dumas III, P.E.
 Sr. Project Engineer

If enclosures are not as noted, kindly inform us at once.

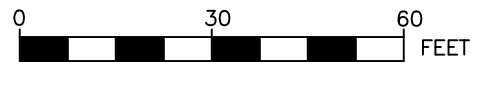


LOCATION MAP
 USGS - PHOENICIA QUADRANGLE
 SCALE: 1" = 2000'
 5605 ROUTE 28, PHOENICIA, NY

LEGEND	
	PARKING SIGN
	BOULDERS
	BATHEY MARKER
	MONUMENT
	REBAR
	UTILITY POLE
	UTILITY LINE
	GUIDE RAIL WOOD
	GUIDE RAIL METAL
	POSTED TREE
	BLAZED TREE
	TREE LINE
	APPROXIMATE TAX MAP PARCEL LINE
	SURVEY CONTOURS
	TEST PIT
	PERCOLATION TEST
	DRAINAGE DITCH
	WATERCOURSE
	PROPOSED DISTURBANCE BUFFER



EXISTING CONDITIONS
 SCALE: 1" = 30'

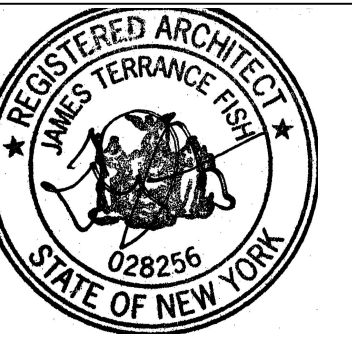


Unauthorized alteration or addition to a plan bearing a licensed engineer's seal is a violation of section 7209, subdivision 2, of the New York State Education Law.

NOTE: BASED ON SURVEY INFORMATION BY CONTROL POINT ASSOCIATES, LLC (PREVIOUSLY BROOKS & BROOKS LAND SURVEYING, P.C.)

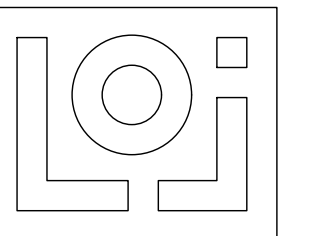
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EXISTING CONDITIONS		
WOODLAND PLAYHOUSE		
TOWN OF SHANDAKEN	ULSTER COUNTY	NEW YORK
DATE	REVISION RECORD	BRINNIER & LARIOS, P.C. ENGINEERS & LAND SURVEYORS 67 MAIDEN LANE KINGSTON, N.Y. Phone: 845-338-7622 Fax: 845-338-7660
7/23	ADD DOT ENTRANCE	
11/23	REVISED DRIVEWAY	
SCALE	DATE	SHEET NO.
AS SHOWN	NOV. 2023	1 OF 5
	DWG. CHK. AMD	



Proposed New Construction for:
WOODLAND PLAYHOUSE
 5605 NY Route 28, Phoenicia, NY 12464

Loj Architecture and Building Science



1 N. Front St. #B1
 Kingston, NY 12401
 Tel: 216-402-3232
 jimfisharch@gmail.com
 www.LojArch.com

ISSUE:

REVIEW SET #1	03/31/2022
REVIEW SET #2	04/27/2022
REVIEW SET #3	06/16/2023
PRICING SET	07/06/2023
REVISED PRICING SET	12/07/2023

ADDENDA:

DRAWING NAME:
SITE PLAN:
 ARCHITECTURAL

SCALE:
 AS NOTED
 DRAWN BY:
 CJB
 DATE:
 12/07/2023

2A
OF 5

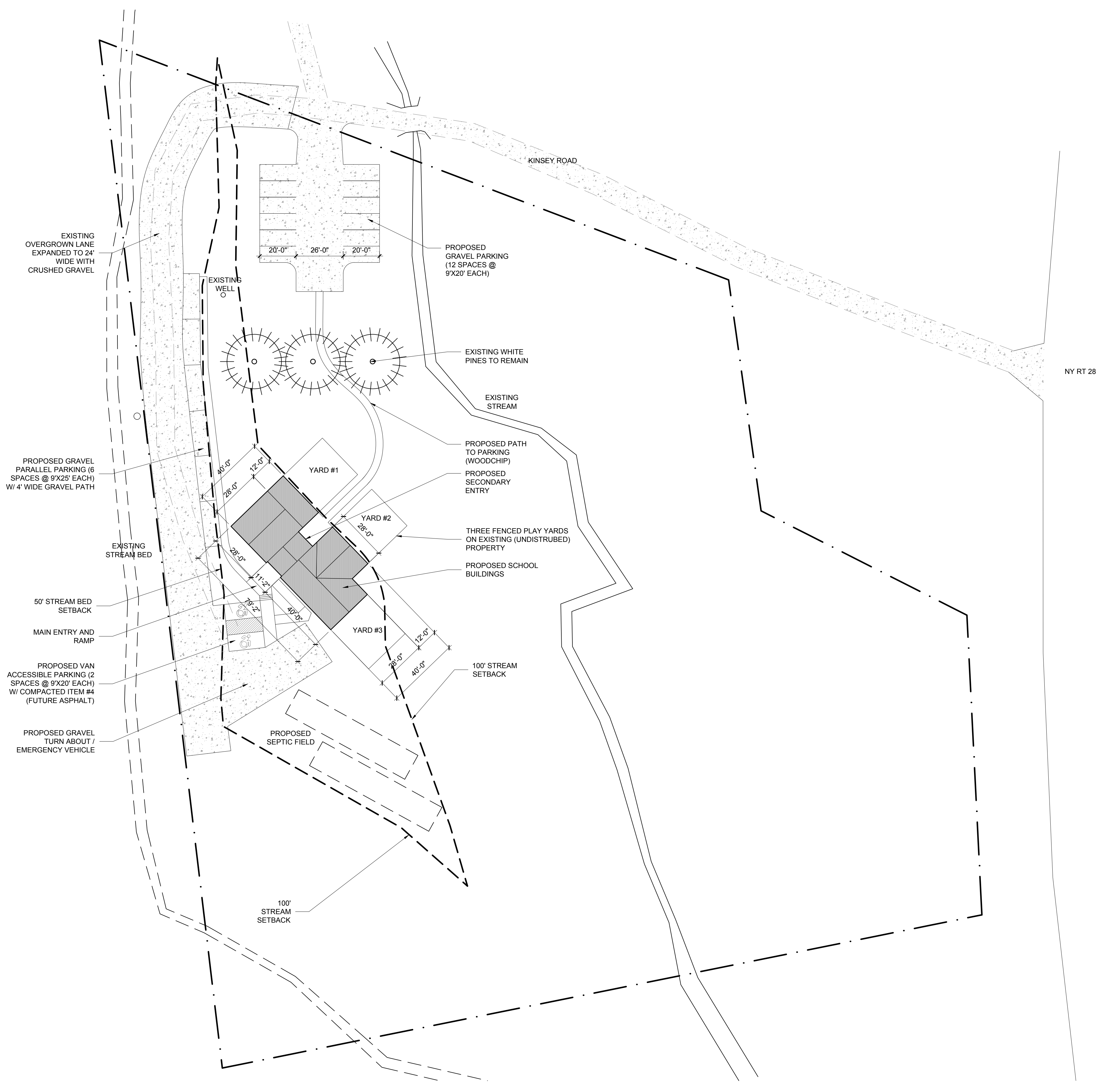
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DATA TABLE			
TAX ID	25.1-1-2.100		
ACRES	4.10 ACRES		
CURRENT PROP. CLASS	312 - VACANT W/ IMPRV		
PROPOSED PROP. CLASS	612 - SCHOOL		
ZONING DISTRICT	R1.5		
DESCRIPTION OF WORK	BUILT FOOTPRINT: 2,867 SF		
ALL NEW CONSTRUCTION	FIRST FLOOR:	2,176 SF	
	SECOND FLOOR:	2,071 SF	
	TOTAL NEW BLDG:	4,247 SF	
	FIRST FLOOR DECKS:	692 SF	
	SECOND FLOOR DECKS:	400 SF	
	TOTAL NEW DECKS:	1,092 SF	
YARD SETBACKS	FRONT	SIDE 1	SIDE 2 REAR
ALLOWABLE SETBACKS	-	-	-
PROPOSED SETBACKS	-	-	-
ALLOW. CREEK SETBACKS	100'	100'	100'
PROP. CREEK SETBACKS	-	-	-
BUILT COVERAGE	ALLOWABLE	PROPOSED	NOTES
MAXIMUM BUILT COVERAGE	-	-	-
MINIMUM OPEN SPACE	-	-	-
BUILDING HEIGHT	-	-	-
IECC CLIMATE ZONE	ZONE 5b (ULSTER COUNTY, NY)		

TABLE OF CONTENTS	
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B100	DEMOLITION SITE PLAN
A100	PROPOSED FIRST FLOOR PLAN
A101	PROPOSED SECOND FLOOR PLAN
A102	PROPOSED ROOF PLAN
A200	EXTERIOR ELEVATIONS
A201	EXTERIOR ELEVATIONS
A300	BUILDING SECTION
A301	BUILDING SECTIONS
A302	BUILDING SECTION
A400	INTERIOR ELEVATIONS
A401	INTERIOR ELEVATIONS
A500	SCHEDULES
A600	NOTES
E100	SITE LIGHTING PLAN
E101	1ST FLOOR ELECTRICAL, POWER & HVAC PLAN
E102	2ND FLOOR ELECTRICAL, POWER & HVAC PLAN
F100	1ST FLOOR FRAMING PLAN
F101	2ND FLOOR FRAMING PLAN
F102	ROOF FRAMING PLAN

GENERAL NOTES:

- ALL MATERIAL AND WORKMANSHIP IS TO CONFORM TO GENERALLY ACCEPTED STANDARDS AND THE BUILDING CODE OF NEW YORK STATE AND THE ENERGY CONSERVATION CONSTRUCTION CODE.
- ALL MATERIAL IS TO BE HANDLED, STORED, AND INSTALLED PER MANUFACTURERS INSTRUCTIONS.
- THE DESIGN REPRESENTED ON THIS DRAWING IS IN COMPLIANCE WITH THE BUILDING CODE OF NEW YORK STATE AND THE ENERGY CONSERVATION CONSTRUCTION CODE. ALL DESIGN ITEMS NOT COVERED BY THIS DRAWING ARE BY OTHERS.
- IT IS THE CONTRACTORS RESPONSIBILITY TO CONFORM TO THESE PLANS AND ALL OTHER APPLICABLE REGULATIONS AS PROMULGATED BY ANY GOVERNING BODIES.
- ANY UNAUTHORIZED MODIFICATION OF PLANS BEARING THE SEAL OF AN ENGINEER LICENSED BY THE STATE OF NEW YORK IS A VIOLATION OF LAW.
- BUILDER SHALL VERIFY ALL MATERIALS, DIMENSIONS, AND CONDITIONS SHOWN ON STRUCTURAL DRAWINGS OR NOTED IN STRUCTURAL SPECIFICATIONS. ANY VARIANCES WITHIN STRUCTURAL DRAWINGS AND SPECIFICATIONS, OR WITH CONDITIONS ENCOUNTERED AT JOB SITE, SHALL BE REPORTED TO THE ENGINEER OR OWNER IMMEDIATELY BEFORE COMMENCEMENT OF ANY WORK EFFECTED BY SUCH VARIANCE.
- BUILDER SHALL INVESTIGATE SITE DURING CLEARING AND EARTHWORK OPERATIONS FOR FILLED EXCAVATIONS OR BURIED STRUCTURES SUCH AS CESS POOLS, CISTERNS, FOUNDATIONS, ETC. IF ANY SUCH ITEMS ARE FOUND, ENGINEER OR OWNER SHALL BE NOTIFIED IMMEDIATELY.

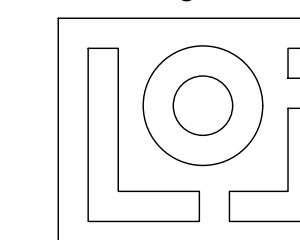


1 SITE PLAN
 ARCHITECTURAL
 SCALE: 1"=30'



Proposed New Construction for:
WOODLAND PLAYHOUSE
 5605 NY Route 28, Phoenicia, NY 12464

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PRICING SET	07/06/2023
REVISED PRICING SET	12/07/2023

ADDENDA:

DRAWING NAME:
ARCH SITE LIGHTING PLAN

SCALE:
 1"=30'
 DRAWN BY:
 CJB
 DATE:
 12/07/2023

2B
OF 5



SITE LIGHTING KEY	
	EXTERIOR WALL FIXTURE FLOOD LIGHT
	EXTERIOR WALL FIXTURE SIGN SPOTLIGHT
	LED PARKING LOT LIGHT POLE
	DOWN FACING SOLAR PATH LIGHT
	DIRECTIONAL GROUND MOUNTED LIGHT
MS	MOTION SENSOR
WP	WATER RESISTANT

1 SITE LIGHTING PLAN
 PROPOSED SCALE: 1"=30'

NOTE: ALL SPECIFIED LIGHTING IS TO BE "DARK SKY COMPLIANT"

GENERAL NOTES

1. LOCATIONS OF TEST HOLES AND PERCOLATION HOLES ARE APPROXIMATE, BASED ON FIELD MEASUREMENTS.
2. GARBAGE GRINDERS NOT ALLOWED FOR THIS DESIGN.

MINIMUM SETBACK REQUIREMENTS					
SYSTEM COMPONENT	WELL	STREAM OR WATERCOURSE	DWELLING LINE	PROPERTY LINE	DRAINAGE DITCH
*HOUSE SEWER	25'	25'	3'	10'	-
SEPTIC TANK	50'	50'	10'	10'	10'
LINE TO DIST BOX	50'	50'	10'	10'	10'
ABSORPTION FIELD	100'	100'	20'	10'	20'

*CAST IRON OR PVC WITH O-RING JOINTS

NOTES FOR SEWAGE DISPOSAL SYSTEM

1. NO ROOF, CELLAR OR FOOTING DRAINS SHALL BE DISCHARGED INTO THE SEWAGE DISPOSAL SYSTEM.
2. ALL TREES AND SHRUBS IN THE PROPOSED SDA SHALL BE CUT AT GRADE, AND DISPOSED OF AS DIRECTED BY THE OWNER.
3. NO STRUCTURES, DRIVEWAYS, ROADWAYS OR PARKING AREAS SHALL BE CONSTRUCTED OVER ANY PORTION OF THE PRIMARY OR RESERVE SEWAGE DISPOSAL SYSTEM.
4. NO COMPONENT OF ANY SEWAGE DISPOSAL SYSTEM SHALL BE CONSTRUCTED WITHIN 100 FEET OF ANY WELL, SPRING, RESERVOIR, BROOK, MARSH OR ANY OTHER PERMANENT BODY OF WATER. WHEN SYSTEM IS LOCATED IN COARSE GRAVEL OR UPGRADE AND IN GENERAL DRAIN PATH TO A WELL, THAT SYSTEM SHALL BE AT LEAST 200 FEET FROM WELL.
5. PRE-CAST CONCRETE STRUCTURES BY LHV PRECAST, INC., WOODARD'S CONCRETE PRODUCTS, INC. OR APPROVED EQUAL.
6. NO BASEMENT FIXTURES SHALL BE PERMITTED WITHOUT SPECIAL SEWAGE DESIGN.
7. RE-SEAL ALL PIPE PENETRATIONS THROUGH CONCRETE STRUCTURES WITH NON-SHRINK GROUT (I.E., SEPTIC TANK, D-BOX)
8. AN AS-BUILT PLAN OF ALL NEWLY INSTALLED SEWAGE DISPOSAL SYSTEM COMPLETE WITH DIMENSIONS AND OFFSETS SHALL BE PROVIDED TO THE UCCDH UPON COMPLETION OF CONSTRUCTION IF REQUIRED.
9. ALL TRENCHES TO BE INSTALLED PARALLEL TO CONTOURS.
10. THE WELL SHALL BE CONSTRUCTED PER NYSDOH APPENDIX 5-D, "STANDARDS FOR WATER WELLS", LATEST EDITION.
11. PROPOSED ABSORPTION FIELD TO BE INSTALLED GREATER THAN 200' FROM PROPOSED WELL.
12. 12" MAXIMUM COVER OVER SEPTIC TANKS AND DISTRIBUTION BOX OR PROVIDE RISERS.
13. THE OWNER OR CONTRACTOR WILL FULLY CONSTRUCT AND COMPLETE THE FACILITIES IN COMPLIANCE WITH THE ENGINEERING REPORT, PLANS AND SPECIFICATIONS AS APPROVED.
14. THE OWNER OR CONTRACTOR WILL MAINTAIN THE CONSTRUCTION PERMIT ON FILE AND AGREES TO ABIDE AND CONFORM WITH ALL MANDATES CONTAINED WITHIN.
15. THE OWNER OR CONTRACTOR WILL MAINTAIN COMPLIANCE WITH CITY, VILLAGE OR TOWNSHIP ORDINANCES AND/OR REGULATIONS.
16. THE OWNER OR CONTRACTOR WILL CONTACT THE ENGINEER FOR A FINAL INSPECTION. THE ENGINEER WILL CERTIFY THE CONSTRUCTION TO THE ULSTER COUNTY DEPARTMENT OF HEALTH IF THE FACILITIES ARE BUILT IN ACCORDANCE WITH THIS PLAN. CONSULT THE ENGINEER AS NECESSARY.
17. THE OWNER OR CONTRACTOR WILL CONTACT THE ULSTER COUNTY DEPARTMENT OF HEALTH FOR A FINAL INSPECTION. THE SEWAGE DISPOSAL SYSTEM WILL BE INSPECTED BY A MEMBER OF THE ULSTER COUNTY DEPARTMENT OF HEALTH PRIOR TO BACKFILLING.

WOODLAND PLAYHOUSE PARKING SPACE SUMMARY

TYPE OF USE	PARKING ASSUMPTIONS	NUMBER SPACES REQUIRED
SCHOOL	1 SPACE PER 12 SEATS	50 STUDENTS AND CHILDREN / 1 SPACE PER SEAT = 5 SPACES
EMPLOYEES*	1 SPACE PER EMPLOYEE	9 EMPLOYEES / 1 EMPLOYEE PER CAR = 9 SPACES

TOTAL PARKING SPACES REQUIRED = 6 SPACES

TOTAL PARKING SPACES PROVIDED = 20 SPACES

NOTES:

- *EMPLOYEE PARKING IN EXCESS OF TOWN OF SHANDAKEN CODE CHAPTER 116, SECTION 116-24 PARKING AND LOADING STANDARDS PROPOSED TO PROVIDE ADDITIONAL EMPLOYEE PARKING.
- HANDICAP PARKING:
 - HANDICAP PARKING SPACES REQUIRED = 1 SPACE WITH 1 VAN ACCESSIBLE
 - HANDICAP PARKING SPACES PROVIDED = 2 SPACES WITH 1 VAN ACCESSIBLE

ZONING COMPLIANCE TABLE

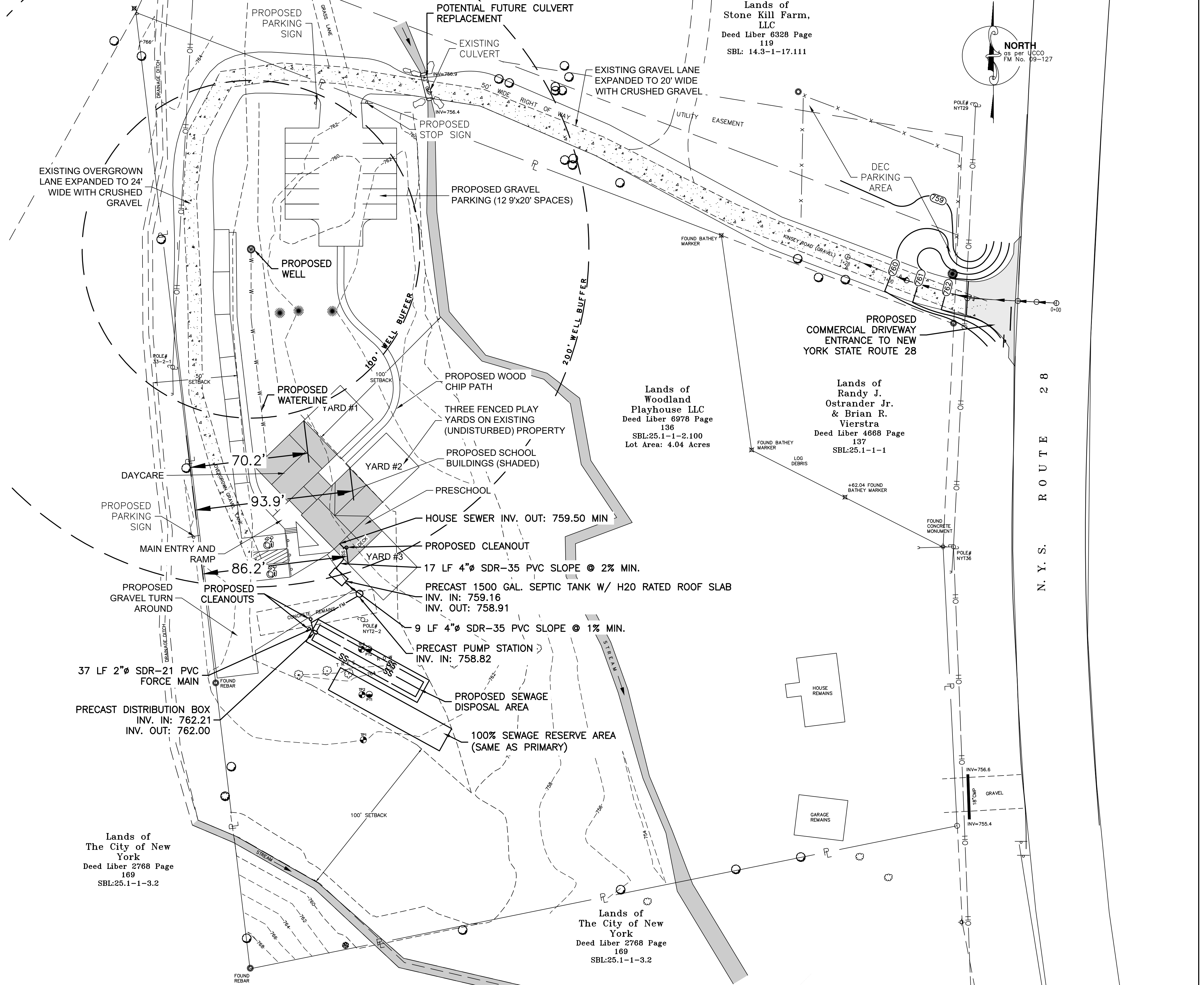
R1.5 ZONING DISTRICT - SBL: 25.1-1-2.100

ITEM	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT REQUIREMENT (ACRES)	R1.5 - 1.5 ACRES	4.04 ACRES	4.04 ACRES
MAXIMUM STRUCTURE COVERAGE (%)	R1.5 - 10%	N/A*	7%
MINIMUM OPEN SPACE (%)	R1.5 - 60%	N/A*	93%
MAXIMUM STRUCTURE HEIGHT (FEET)	R1.5 - 35 FEET	N/A*	34 FEET
MINIMUM LOT WIDTH (FEET)	R1.5 - 200 FEET	N/A*	328 FEET
MINIMUM FRONT SETBACK (FEET)	R1.5 - 50 FEET	N/A*	187 FEET
MINIMUM SIDE SETBACK (FEET)	R1.5 - 25 FEET	N/A*	40 FEET
MINIMUM REAR SETBACK (FEET)	R1.5 - 50 FEET	N/A*	225 FEET

*NOTE: EXISTING STRUCTURE TO BE DEMOLISHED.

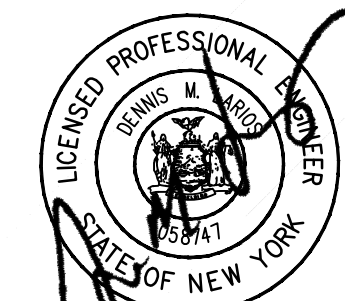
LEGEND

- PARKING SIGN
- BOULDERS
- BATHEY MARKER
- MONUMENT
- REBAR
- UTILITY POLE
- UTILITY LINE
- GUIDE RAIL WOOD
- GUIDE RAIL METAL
- POSTED TREE
- BLAZED TREE
- TREE LINE
- APPROXIMATE TAX MAP PARCEL LINE
- SURVEY CONTOURS
- TEST PIT
- PERCOLATION TEST
- DRAINAGE DITCH
- WATERCOURSE
- PROPOSED DISTURBANCE BUFFER



NOTE: The location of existing underground utilities are shown in an approximate way only and have not been independently verified by the owner or its representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which might be occasioned by the contractor's failure to exactly locate and preserve any and all underground utilities.

- NOTES:**
1. BASED ON SURVEY INFORMATION BY CONTROL POINT ASSOCIATES, LLC (PREVIOUSLY BROOKS & BROOKS LAND SURVEYING, P.C.)
 2. ALL LIGHTING TO BE "DARK SKY" COMPLIANT



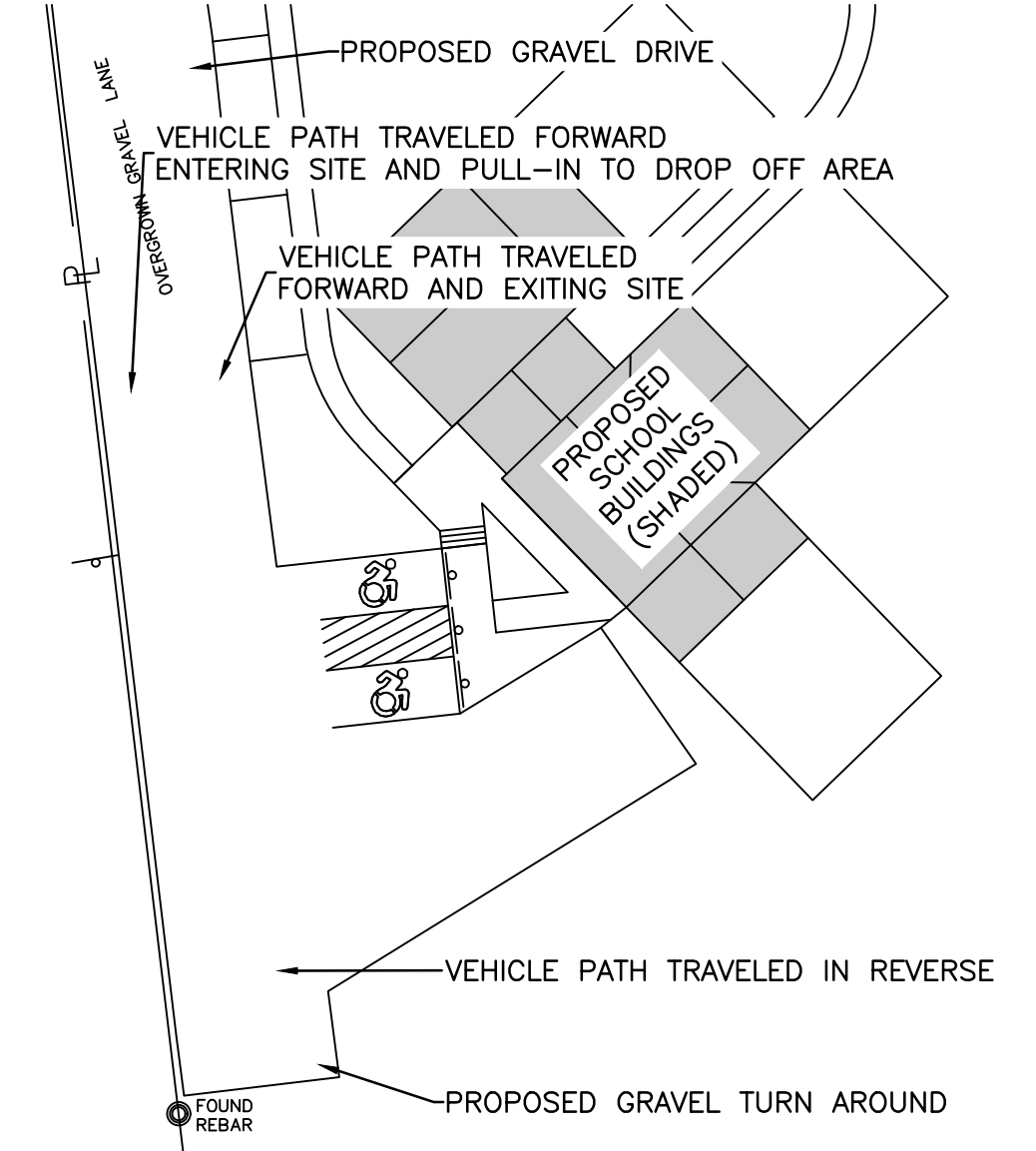
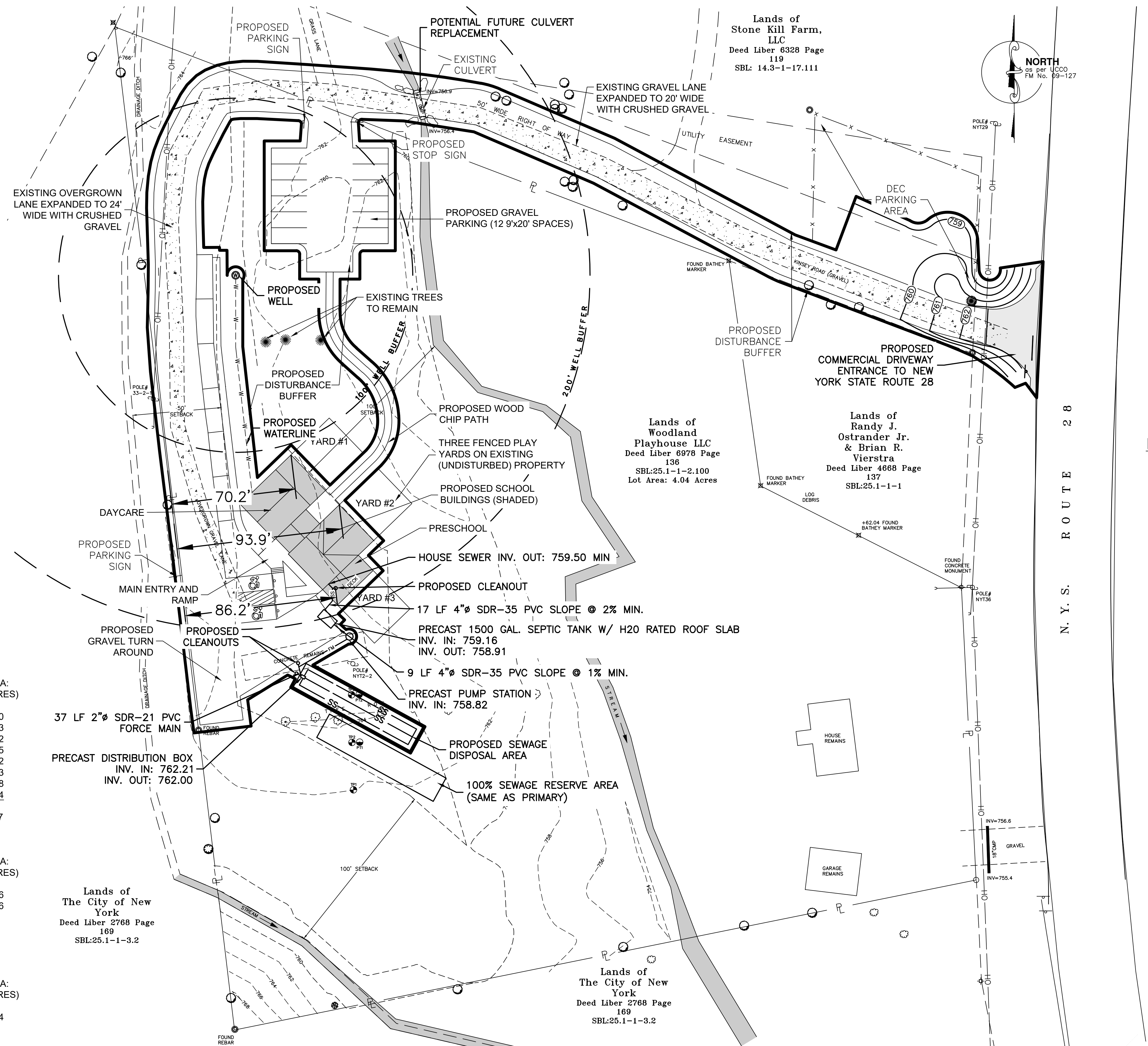
SITE PLAN
SCALE: 1" = 30'

SITE PLAN - CIVIL
WOODLAND PLAYHOUSE

TOWN OF SHANDAKEN		ULSTER COUNTY		NEW YORK
DATE	REVISION RECORD	BRINNIER & LARIOS, P.C.		
7/23	ADD DOT ENTRANCE	ENGINEERS & LAND SURVEYORS		
11/23	REVISED DRIVEWAY	67 MAIDEN LANE KINGSTON, N.Y.		
		Phone: 845-338-7622 Fax: 845-338-7660		
SCALE	DATE	CHECKED	DATE	SHEET NO.
AS SHOWN	NOV. 2023	KFH	AMD	3 OF 5

LEGEND

- PARKING SIGN
- BOULDERS
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DESIGN VEHICLE:
 2023 FORD E-450 PARATRANSIT BUS 18 PASSENGER
 WHEELBASE: 186"
 LENGTH: 313"
 WIDTH: 91.25"

INSET OF DRIVEWAY AND VEHICLE MOVEMENTS

SCALE: 1" = 30'

AREA OF DISTURBANCE SUMMARY:

PROPOSED AREA OF DISTURBANCE:

ITEM:	AREA: (SQ. FT.)	AREA: (ACRES)
PROP. GRAVEL DRIVE:	30,512	0.700
PROP. GRAVEL PARKING:	7,524	0.173
PROP. PATH:	4,027	0.092
PROP. SAN. SEWER:	1,979	0.045
PROP. WELL:	79	0.002
PROP. WATERLINE:	990	0.023
PROP. CULVERT:	337	0.008
PROP. BUILDING:	3,641	0.084
TOTAL:	49,089	1.127

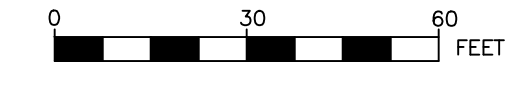
EXISTING AREA OF DISTURBANCE:

ITEM:	AREA: (SQ. FT.)	AREA: (ACRES)
EXISTING GRAVEL DRIVE:	8,122	0.186
EXISTING CONCRETE REM.:	712	0.016

NET PROPOSED AREA OF DISTURBANCE:

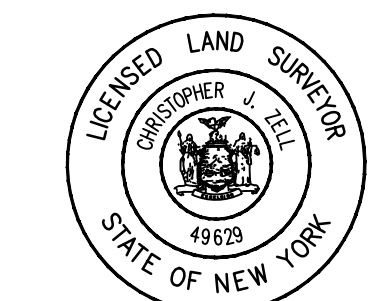
ITEM:	AREA: (SQ. FT.)	AREA: (ACRES)
TOTAL:	40,255	0.924

SITE PLAN
 SCALE: 1" = 30'



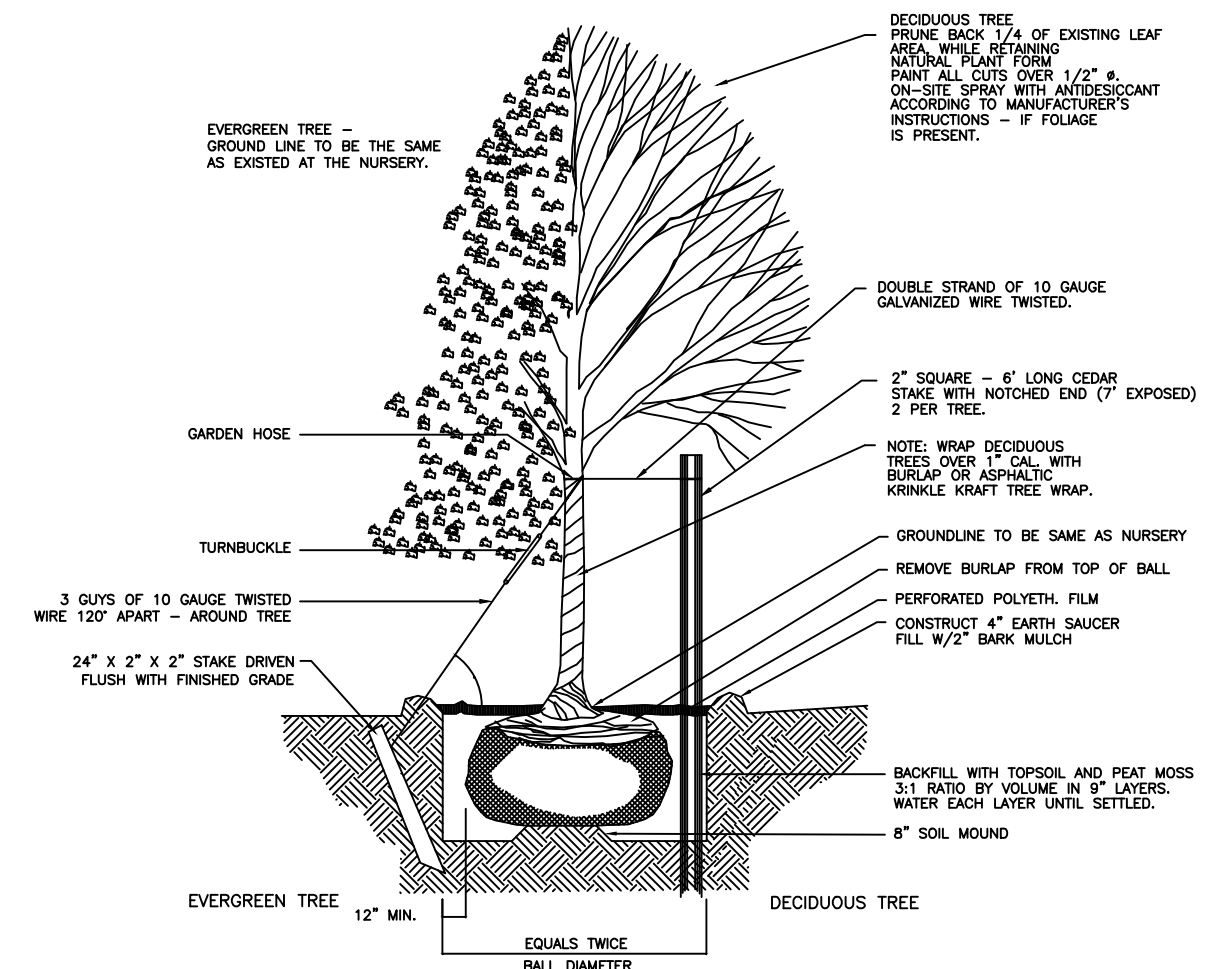
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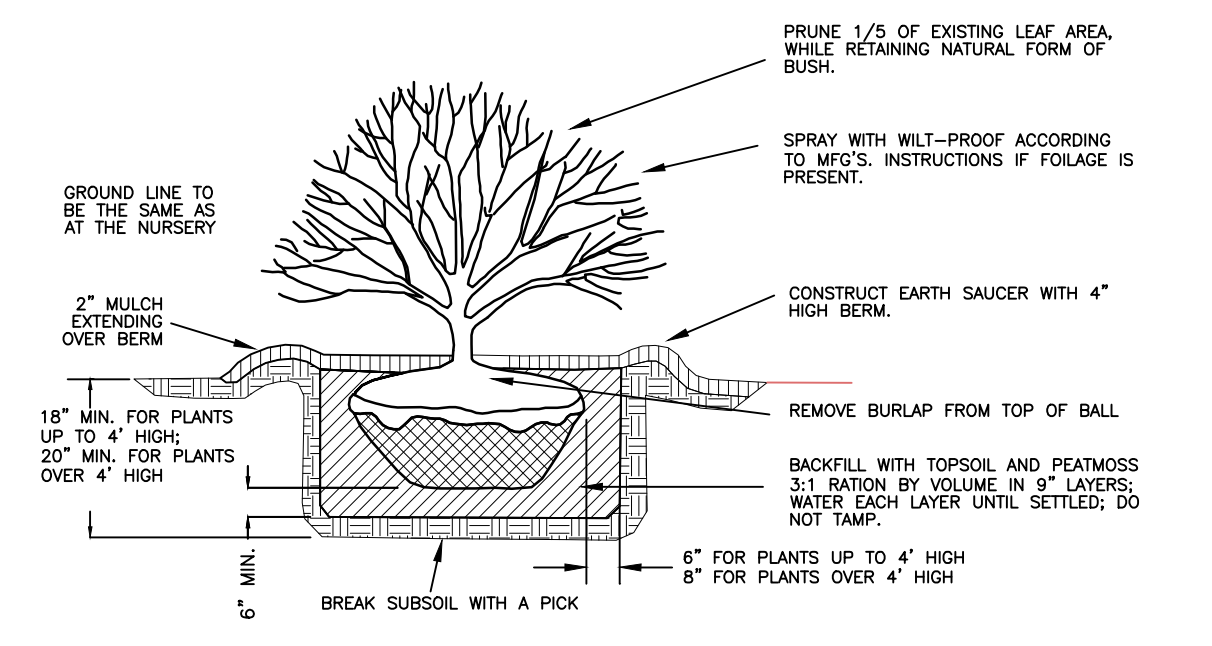


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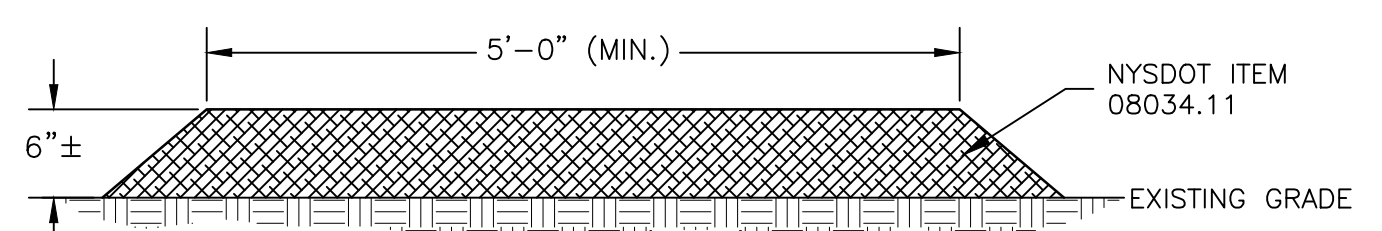
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AS SHOWN	DWG	KFH	CHK	AMD	4 OF 5



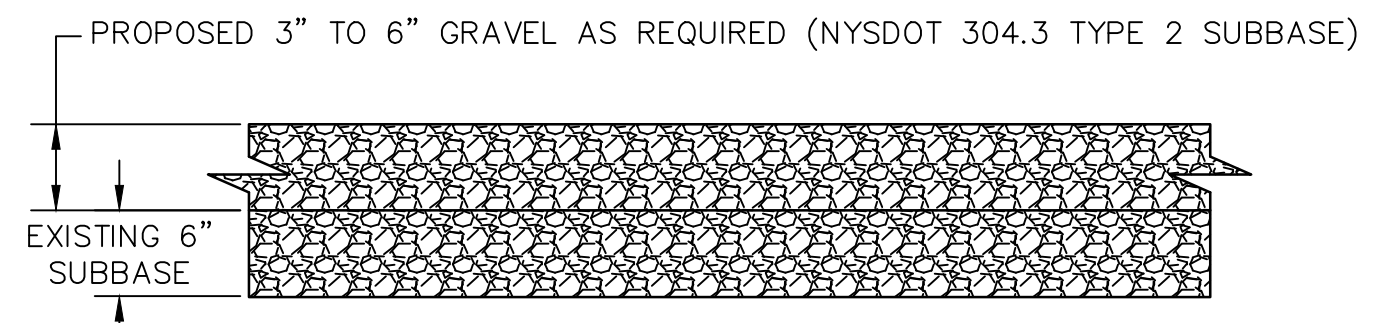
TREE PLANTING DETAIL
NOT TO SCALE



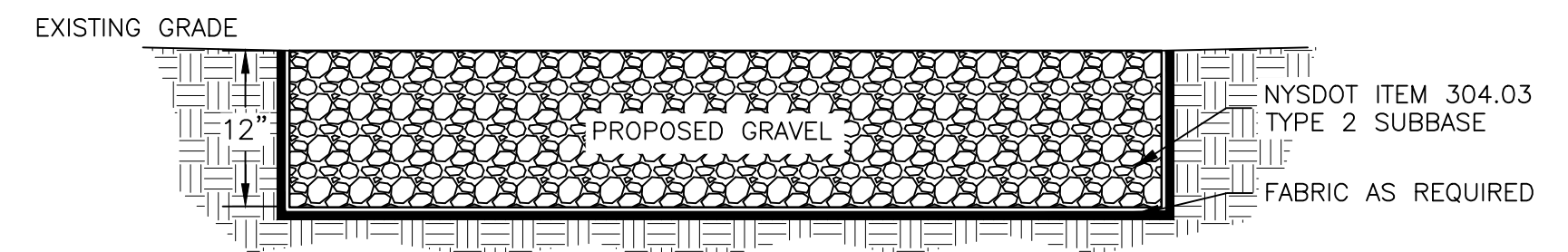
BRUSH/SHRUB PLANTING DETAIL
NOT TO SCALE



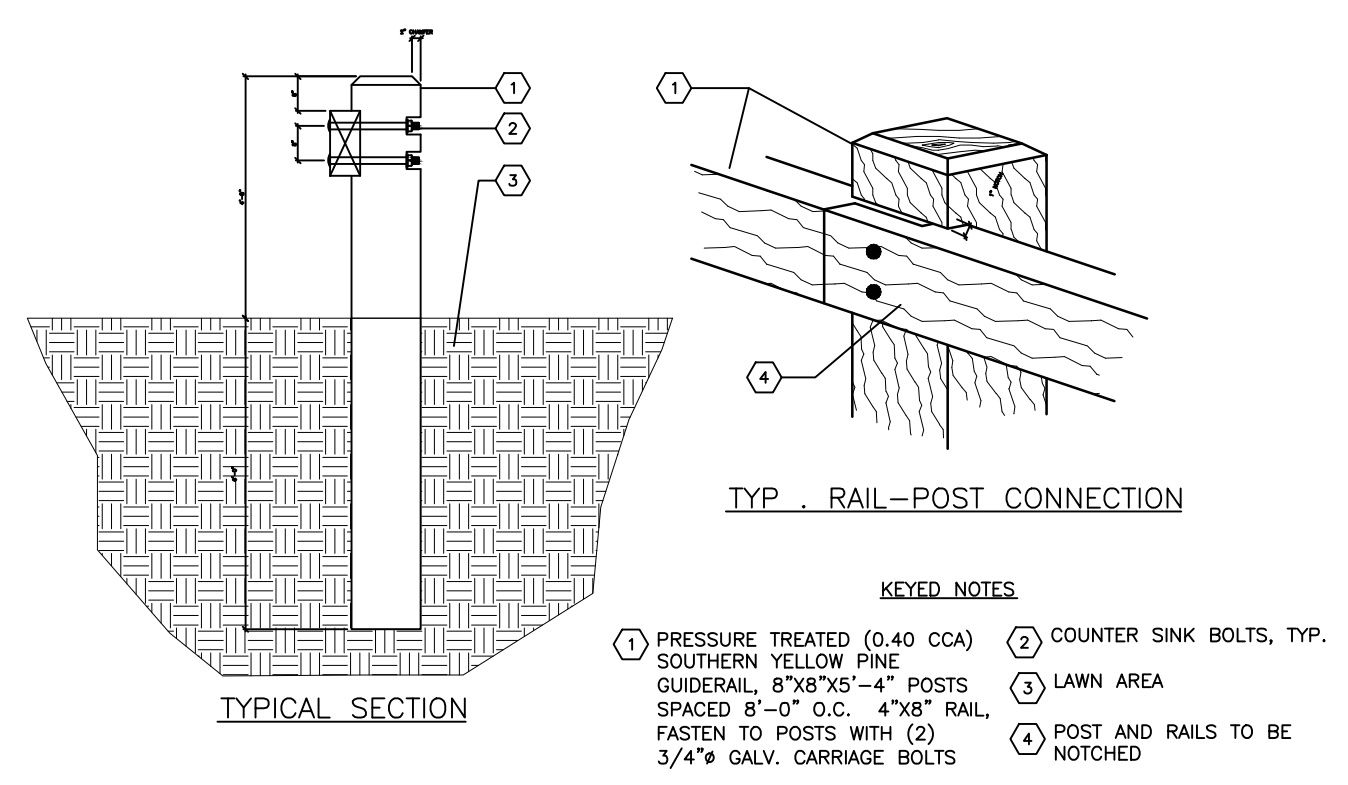
ACCESSIBLE PATH DETAIL
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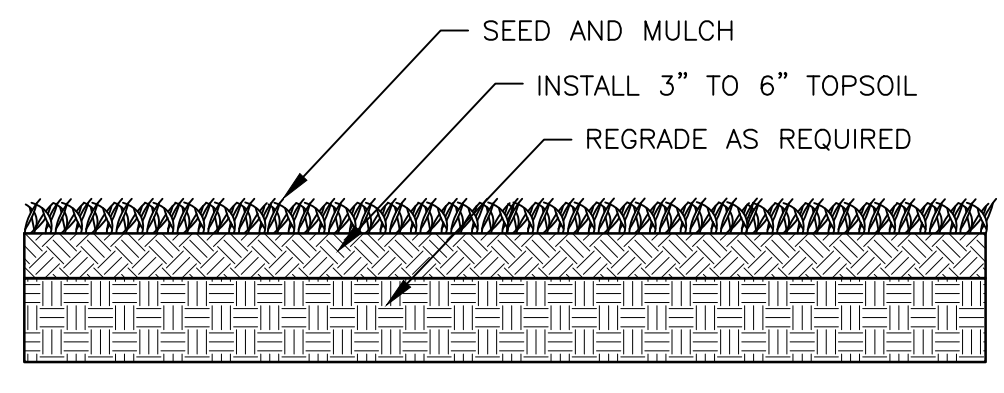
EXISTING GRAVEL ROAD RESURFACING DETAIL
NOT TO SCALE



NEW GRAVEL ROAD AND PARKING DETAIL
NOT TO SCALE



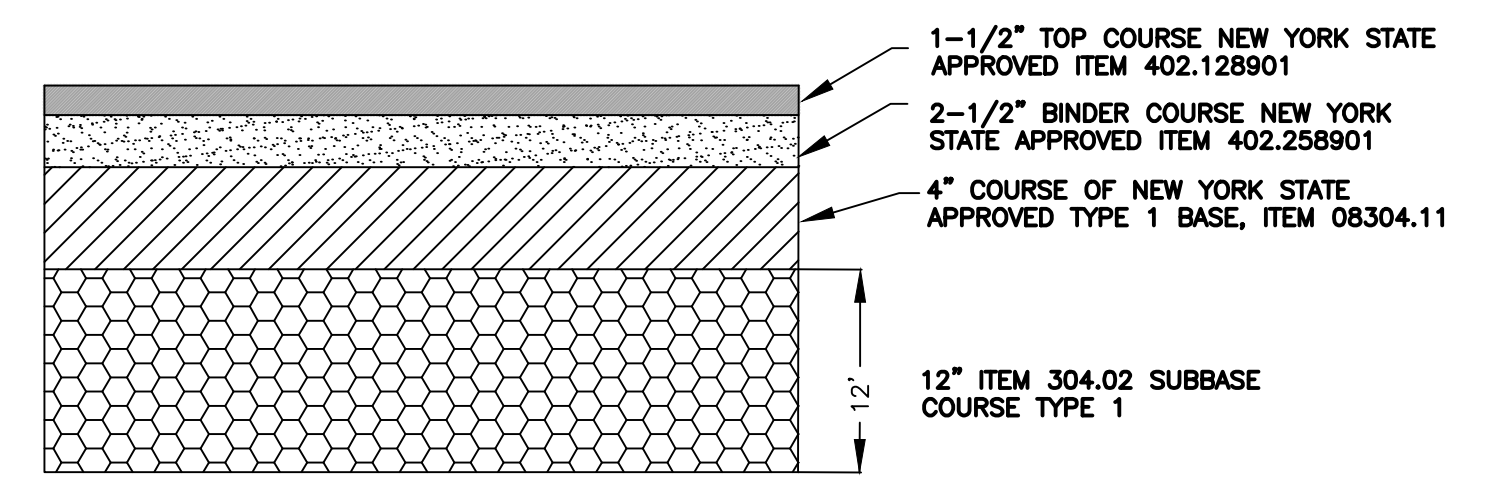
TYPICAL TIMBER GUIDE RAIL DETAIL
NOT TO SCALE



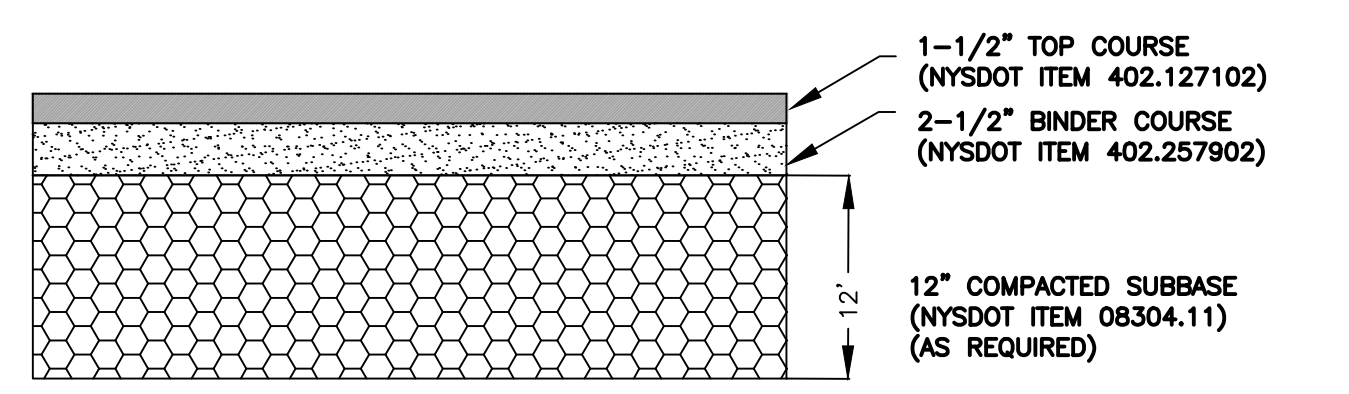
TYPICAL TOPSOIL AND SEED FOR DISTURBED AREAS DETAIL
NOT TO SCALE



WOOD CHIP PATH DETAIL
NOT TO SCALE

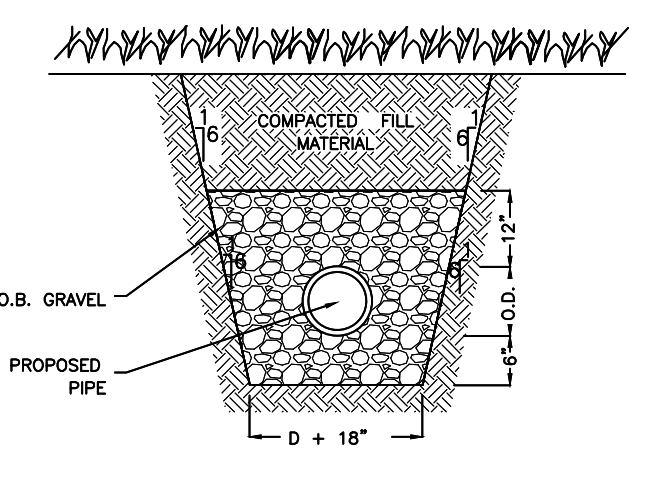


PAVED ENTRANCE SECTION DETAIL
NOT TO SCALE

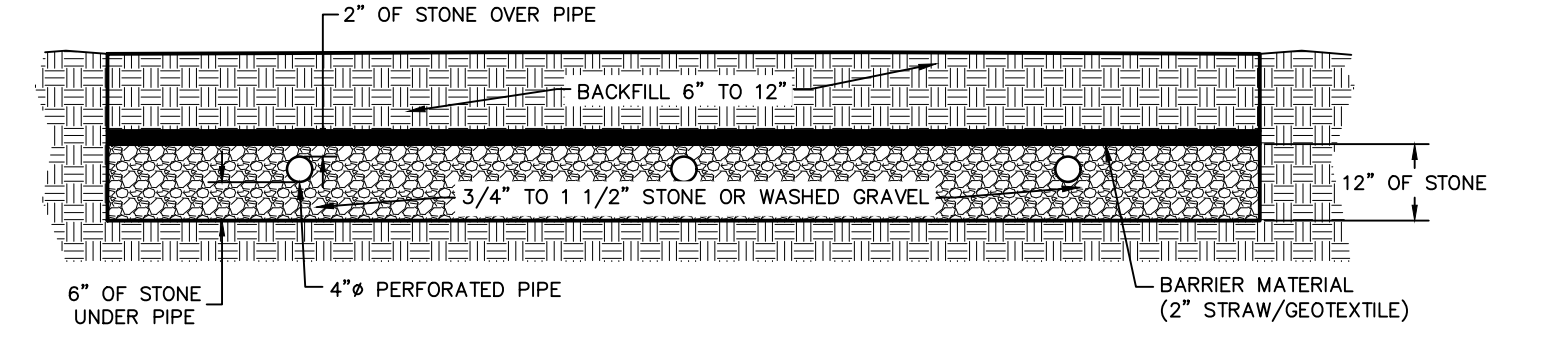


ADA PARKING SECTION DETAIL
NOT TO SCALE

NOTE:
- PAVEMENT PER NYSOT 608-03
- CROWN PAVEMENT AS REQUIRED TO PROVIDE ADEQUATE SHEET FLOW DRAINAGE.

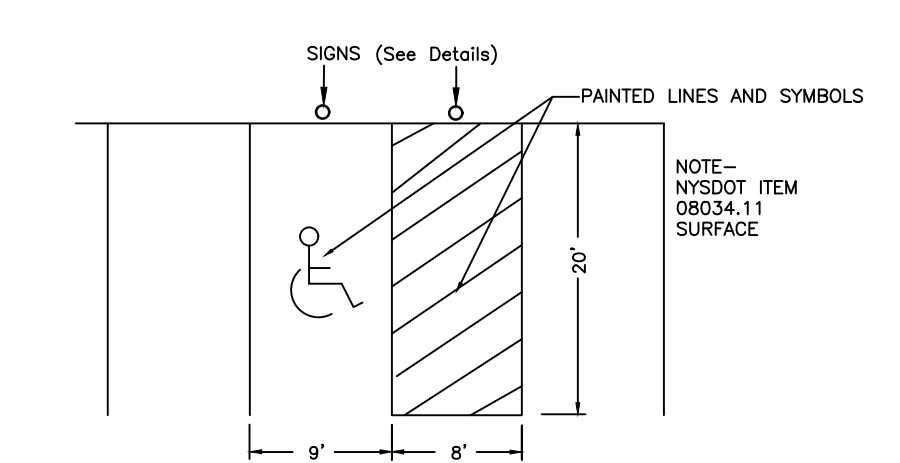


TYPICAL SEWER TRENCH DETAIL
NOT TO SCALE

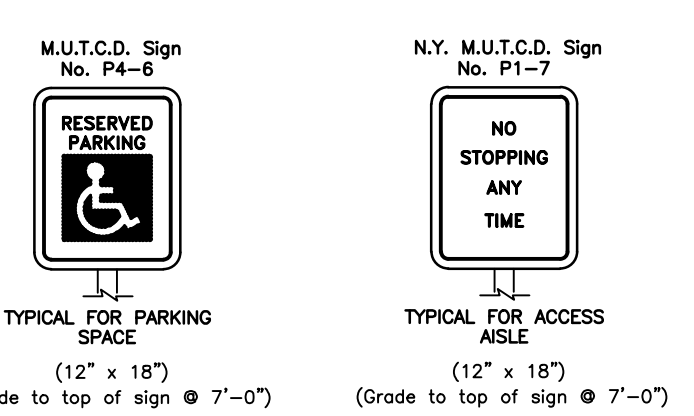


ABSORPTION BED DETAIL (SECTION VIEW)
NOT TO SCALE

- ABSORPTION BED NOTES
1. ABSORPTION BED IS TO BE STAKED PRIOR TO THE START OF CONSTRUCTION TO AVOID COMPACTION OF THE IN-SITU SOIL.
 2. ALL PIPE CONNECTIONS TO THE DISTRIBUTION BOX ARE TO BE WATERTIGHT.
 3. PERFORATED 4"Ø DRAIN PIPE (E.G. PVC-ASTM D-2729) IS TO BE INSTALLED WITH PERFORATIONS DIRECTED EVENLY IN THE DOWNWARD DIRECTION.
 4. ALL 4" PERFORATED PIPE SHALL BE LAID LEVEL FOR DOSING.

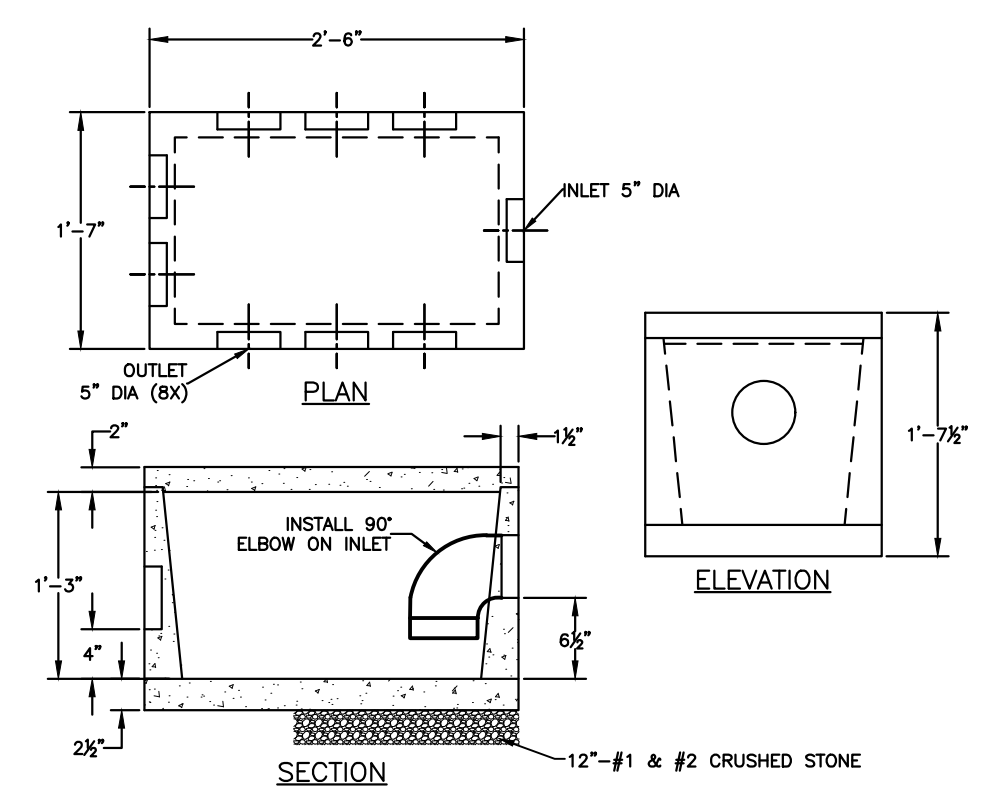


TYPICAL ADA PARKING DETAIL
NOT TO SCALE

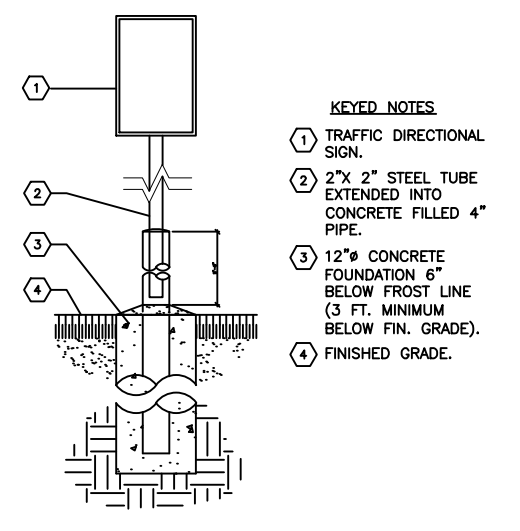


SIGN NO.	ADVANCE SIGN SCHEDULE	NO. REQ.
A	FACILITY SIGN	1
B	R1-1 STOP	1
C	P4-6 RESERVED PARKING	2
D	P PARKING	2

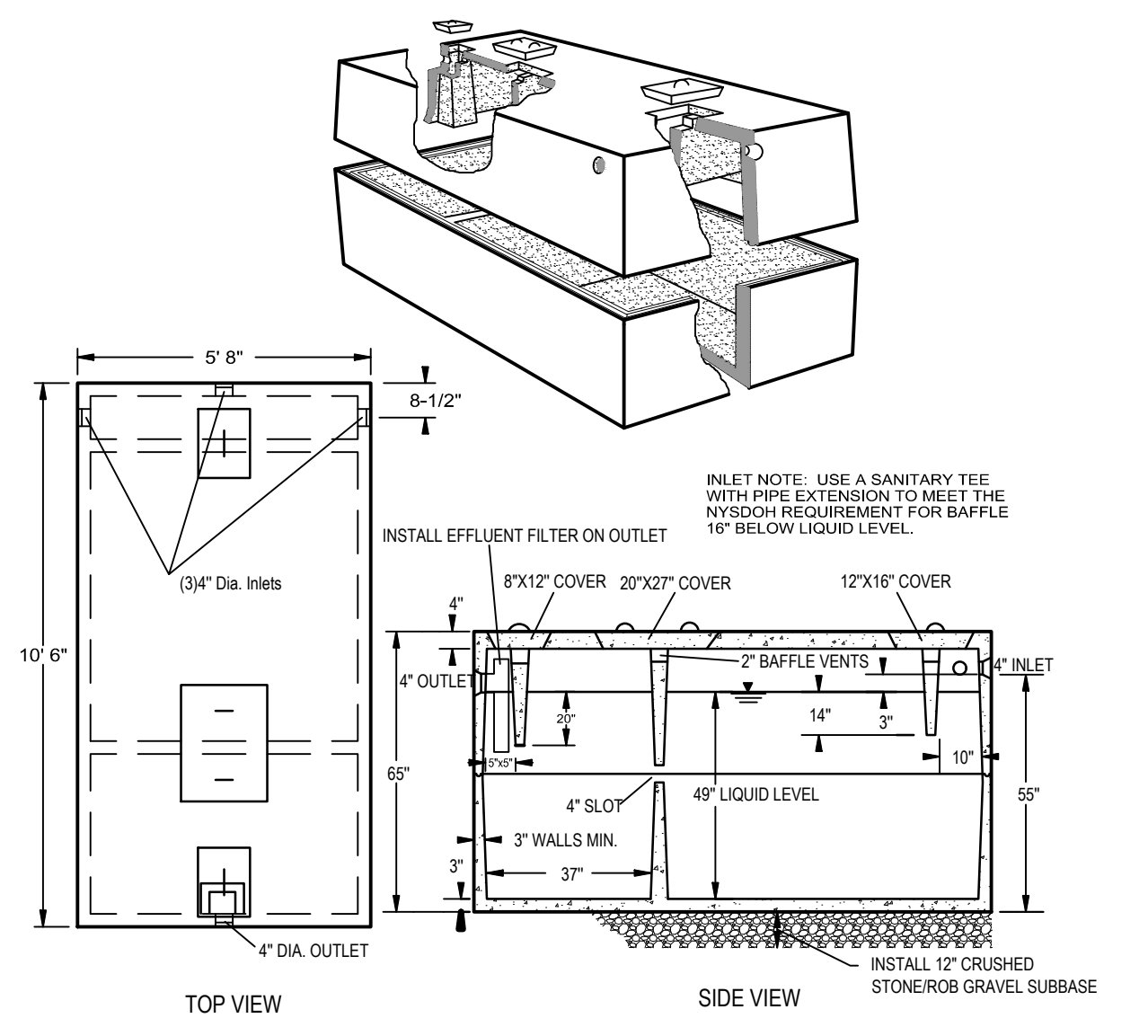
SIGN DETAIL
NOT TO SCALE



8-WAY DISTRIBUTION BOX DETAIL
NOT TO SCALE



TYPICAL SIGN POST DETAIL
NOT TO SCALE



1,500 GALLON SEPTIC TANK DETAIL
NOT TO SCALE

NOTE:
The location of existing underground utilities are shown in an approximate way only and have not been independently verified by the owner or its representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agree to be fully responsible for any and all damages which might be occasioned by the contractor's failure to exactly locate and preserve any and all underground utilities.



Unauthorized alteration or addition to a plan bearing a licensed engineer's seal is a violation of section 7209, subdivision 2, of the New York State Education Law.

DETAILS
WOODLAND PLAYHOUSE

TOWN OF SHANDAKEN ULSTER COUNTY NEW YORK

DATE	REVISION RECORD	BRINNIER & LARIOS, P.C. ENGINEERS & LAND SURVEYORS 67 MAIDEN LANE KINGSTON, N.Y. Phone: 845-338-7622 Fax: 845-338-7660	SCALE	DATE	SHEET NO.
7/23	ADD DOT ENTRANCE			NOV. 2023	
11/23	REVISED DRIVEWAY			DWG CHK AMD	
			AS SHOWN		5 OF 5